

CITY OF HAYWARD AGENDA REPORT

Meeting Date: 03/13/03

Agenda Item: 1

TO: Planning Commission

FROM: Arlynn J. Camire, AICP, Associate Planner

SUBJECT: **An Appeal of Planning Director's Conditional Approval of Administrative Use Permit Application No. PL-2002-0258** – Sanjiv Bhandari (Applicant), Dharm Salwan (Owner) – Request to Construct and Operate a Three-Story Veterinary Clinic with an Upper Level Residence

The Property is Located At 21888 Foothill Boulevard, South Of Grove Way In The *Neighborhood Commercial (CN) District*

RECOMMENDATION:

It is recommended that the Planning Commission:

1. Find the project exempt from the California Environmental Quality Act Guidelines;
2. Deny the appeal and uphold the Planning Director's approval action, subject to the attached findings and conditions of approval.

DISCUSSION:

On November 27, 2002, the Planning Director conditionally approved the administrative use permit allowing the operation of the veterinary clinic. The Planning Director's decision was appealed on December 12, 2002 by the owner of the Super 8 Motel, which is located to the north of subject property.

Setting

The 9,970-square-foot site, which slopes up and away from Foothill Boulevard, is on the east side of Foothill Boulevard, north of Rex Road. The rear of the property would be dedicated to the City to potentially extend Rockford Road. Single- and multiple-family units in the *Medium- and High- Density Residential Districts* are located uphill to the rear. This property and those to the south are in the *Neighborhood Commercial District (CN)*. The Super 8 Motel, and other commercially developed properties to the north are in the *General Commercial (CG) District*. The CN district permits residential units above the first floor as a primary use and permits the veterinary clinic as an administrative use.

Project Description

The proposal is to construct a three-story building that would contain a veterinary clinic, an apartment, and ground level covered parking. The veterinary clinic would contain a retail area, lab/pharmacy, grooming, exam, surgery and x-ray/imaging facilities, dog runs, an intensive care/isolation unit, a cat ward and a dog boarding facility. The residence would contain a covered front terrace, four bedrooms, six bathrooms, a living room, a study, dining room, kitchen and laundry facilities.

Appeal

The appellant, who is the owner of the adjacent Super 8 Motel, objects to the 10-foot front yard set back and the height of the proposed structure, indicating that the mass of the structure would “adversely affect the neighborhood.” He claims that barking dogs would create a nuisance and points out that there are already several veterinary clinics in the area.

The proposed structure meets all of the minimum setback requirements of the *CN* zoning district, including the requirement for a minimum 10-foot landscaped front yard. However, because the newer portion of the Super 8 motel is set back 20 feet from the front property line, the appellant asks that the proposed project also be set back 20 feet from the front property line. The first phase of the motel was the conversion of an office building into motel rooms. This building is situated along the front property line, as is the motorcycle shop (former Goodwill store) to the north. The Planning Commission approved a 20-foot front yard setback for the second phase of the motel, and this additional setback area compensated for the lack of landscaping in front of the converted office building.

Regarding the height of the proposed building, the Zoning Ordinance allows a maximum height of 40 feet. The plans depict the maximum height at 41 feet, measured at the mid-point of the roof. The applicant has agreed to reduce the maximum height to 39 feet. Due to the slope of the property and the design of the structure, the height of the majority of the building is less and varies between 29 and 39 feet. The tower element that contains the elevator shaft is 51 feet in height, and the Zoning Ordinance allows such building adjuncts to be 15 feet taller than the remainder of the building, in this case 55 feet. Although all setback and height requirements have been met, consideration should also be made to how the proposed building complements nearby structures and the planned environment. The height of the motel situated adjacent to the proposed building is between approximately 28 and 36 feet high. The proposed building is two stories (approximately 30 feet high) along front portion closest to the motel. The building increases in height to three stories, or 39 feet at its highest point. The building tapers to two stories at the rear as the parking level will be partially depressed into the hillside. The properties to the south are also owned by the applicant who intends to demolish the single-family home and older apartment building and build a commercial building, which can also be expected to be tall. The other commercial buildings on Foothill Boulevard in that area are two stories in height and are situated on the front property line. Staff believes that the mass of the proposed structure is compatible with existing and anticipated development.

The appellant believes that the sound of barking dogs would be heard outside of the clinic, creating a nuisance and disturbing motel guests. As the sides of the proposed building would be located along the side property lines, there would be no openings on the sides of the building. The

architect stated that he took the factor of animal sounds into account while designing the building. In order to address the concern of the appellant, staff is recommending the addition of a condition of approval requiring that sound-proofing be used, in addition to standard construction methods, to ensure that motel guests are not disturbed by noises originating from the veterinary clinic and kennel.

The appellant questions why another veterinary clinic is necessary while there are several in the area. Bay Cities Animal Hospital that is located on Lewelling Boulevard in unincorporated Hayward will close and relocate to this site. Therefore, the number of animal clinics in the area will not increase.

Architecture

The building is of a Mediterranean design, with muted earth tone stucco and a terra cotta tile, low-pitched hipped roof. The parking garage, lobby and office entries are accented with keystone tile archways. The thick molding separates the stories. In addition, column features contain molding. The sides of the building are accented with moldings, score lines and decorative indentations of faux entries that reflect the design on the front elevation. The side elevations have do not have windows however, a condition of approval requires that window-like indentations be added.

The residential unit has a front terrace that is partially covered with an open trellis wooden canopy structure behind stucco canopy structure with a low pitched terra cotta tile gable roof with pier arch supports above a balustrade railing. The terrace would also contain a fountain and built in planters at each corner. Gable roofs also accent several arched entryways and windows.

The second and third floors balconies have pier arches above balustrades railing. Second floor windows on the rear and front elevations are accented with keystone arches.

The ground floor the lobby and office storefronts are accented with decorative indentations with decorative iron grille work.

The project meets the City of Hayward Design Guidelines for mixed-use commercial/residential. The residence has a distinctive separate entrance. The required parking is in a common garage to get the most efficient use of parking spaces. High visibility for the retail use is present at the sidewalk by placing storefronts close to the sidewalk. The residence is oriented to take advantage of available views toward the bay and the hillside. The terrace and balcony areas also provide adequate private open space.

Parking

The veterinary clinic requires 15 parking spaces and the residence requires 2 spaces. Eighteen parking spaces, with one van accessible handicap space, are proposed. All parking spaces would be provided in a ground floor parking garage accessible from Foothill Boulevard.

Landscaping

There are several mature trees on the site that would be removed. The Tree Preservation Ordinance is meant to preserve trees and is not meant to prohibit property development. Therefore, a significant oak would be removed. However, a mature eucalyptus is required to be retained and a condition of approval requires for modifications to be made to a backyard area to retain the tree. In addition, the conditions of approval require trees of equal value to be provided to replace the trees that would be removed.

Conformance to Zoning, General Plan and Plans, and Neighborhood Plan

The zoning designation is *Neighborhood Commercial District (CN)* and the General Plan designation is *Commercial/High Density Residential (CHDR)*. The intent of the CN District is to establish uses that relate to uses in other commercial districts and to the residential districts served. The products and services intended are those primarily represented by convenience goods and services purchased frequently. The construction of the veterinary clinic is consistent with the purpose of this district. In addition, the development standards have been met.

The General Plan encourages the promotion and creation of transit oriented development along the Mission/Foothill Corridor by encouraging a balance of land uses, including mix of commercial and residential uses. The veterinary clinic includes a residence.

The North Hayward Neighborhood Plan encourages development to be compatible with a Mediterranean design theme, and the design of the building is consistent with this design theme.

ENVIRONMENTAL REVIEW:

It has been determined that this project is categorically exempt from the guidelines of the California Environmental Quality Act, pursuant to Section 15332, Class 32, In-Fill Development Projects.


PUBLIC NOTICE

On February 14, 2003, a Notice regarding this appeal of the Administrative Use Permit approval was mailed to property owners and residents within 300 feet of the project site.


CONCLUSION

Staff believes that the use would not have a negative impact on the neighborhood or the adjacent motel and therefore recommends denial of the appeal and approval of the project.

Prepared by:

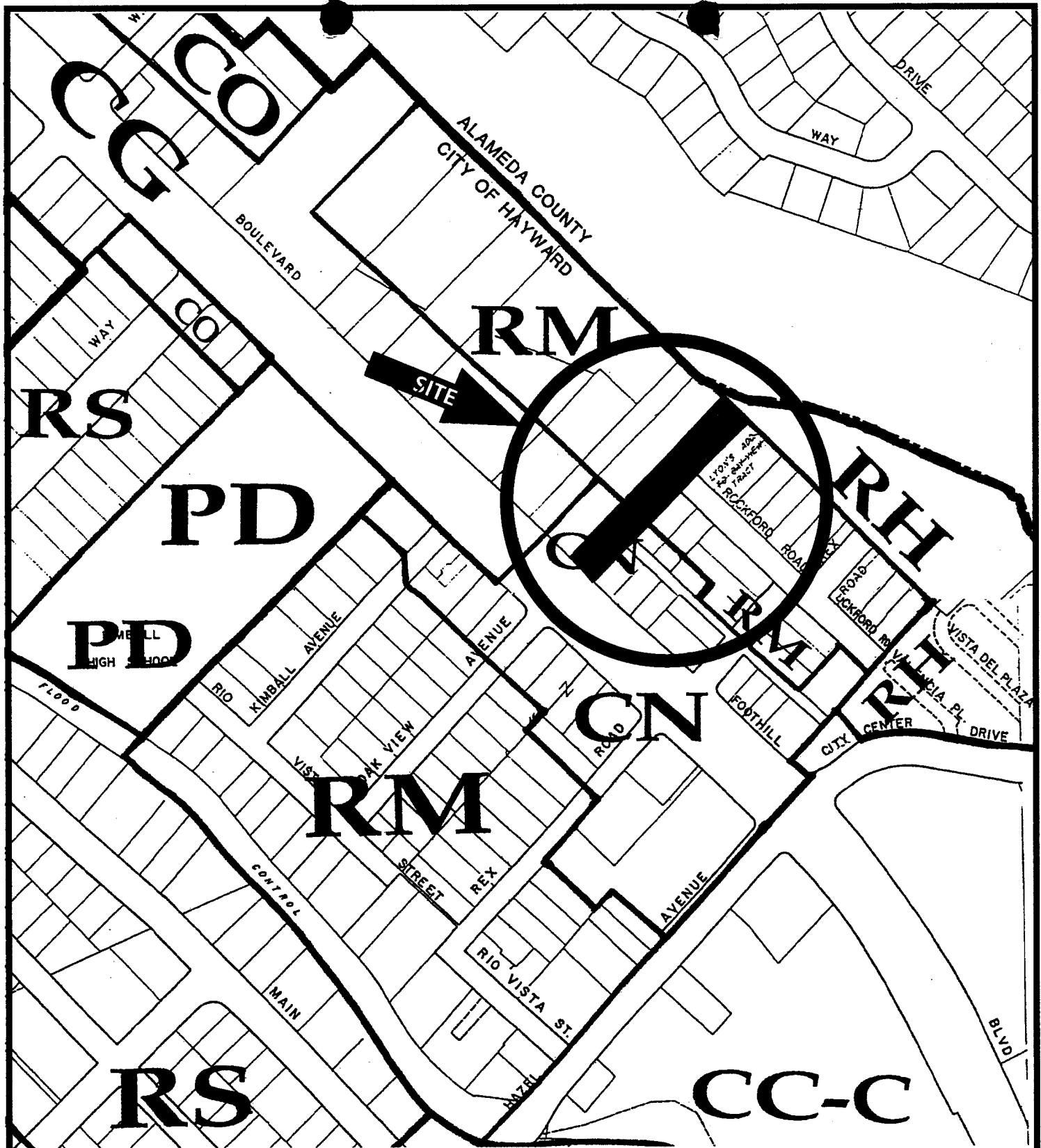

Arlynn J. Camire, AICP
Associate Planner

Recommended by:


Dyana Anderly, AICP
Planning Manager

Attachments:

- A. Area Map
- B. Findings for Approval
- C. Conditions of Approval
- D. Appellants letter dated December 12, 2002
Plans



Area & Zoning Map

PL-2002-0258 AUP

Address: 21888 Foothill Blvd

Applicant: Sanjiv Bhandari

Owner: Sandeep Salwan

CC-C-Central City-Commercial

CG-General Commercial

CN-Neighborhood Commercial

CO-Commercial Office

PD-Planned Development

RH-High Density Residential

RM-Medium Density Residential,RMB3.5,RMB4.

RS-Single-Family Residential,RSB4,RSB6

Administrative Use Permit Application No. PL-2002-0258

Sanjiv Bhandari (Applicant)

Dharam Salwan (Owner)

21888 Foothill Boulevard

Findings For Approval

- A. That approval of Administrative Use Permit Application No. 2002-0258 to construct and operate a three-story veterinary clinic with a residence in the Neighborhood Commercial (CN) Zoning District is exempt from the provisions of California Environmental Quality Act pursuant to Section 15332. In-Fill Development Projects.
- B. That the proposed use is desirable for the public convenience or welfare in that it will be a use with few impacts to the adjacent residential zoning districts and commercial uses. In addition, the project will allow the relocation of an existing animal clinic that will allow existing customers to continue treatment with the same veterinarian.
- C. That the facility will not impair the character and integrity of the neighborhood in that the site is adjacent to other commercial uses, is appropriately set back from neighboring residential uses, and conditions will be imposed to mitigate any foreseen adverse impacts.
- D. That the proposed use will not be detrimental to the public health, safety or general welfare in that all zoning, building and fire code requirements will be met.
- E. That the proposed use is in harmony with applicable City policies as well as the intent and purpose of the zoning district in that the use will be compatible with surrounding commercial and residential activities and provide a desirable working environment with a minimum of detriment to surrounding commercial and residential properties.

Administrative Use Permit Application No. PL-2002-0258

Sanjiv Bhandari (Applicant)

Dharam Salwan (Owner)

21888 Foothill Boulevard

Conditions of Approval

General

1. Administrative Use Permit Application No. PL-2002-0258, request to construct and operate a three-story veterinary clinic with a doctor's residence in the Neighborhood Commercial Zoning District, subject to these conditions of approval and the plans, labeled Exhibit "A" except as required to be modified by these conditions of approval. This approval is void one year after the effective date of the approval unless prior to that time a building permit has been accepted by the City of Hayward Building Official to construct the project. If a building permit is issued for construction of improvements authorized by this administrative use permit approval, the administrative use permit approval shall be void two years after the issuance of the building permit, or three years after the approval of the administrative use permit application, whichever is later, unless construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance upon the administrative use permit approval.
2. Any modifications to the approved plans or conditions shall require prior review and approval from the Planning Director. A request for a one-year extension of time, approval of which is not guaranteed, must be submitted to the Planning Director 15 days prior to the expiration date.
3. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
4. Any proposal for alterations to the proposed site plan and/or design, which does not require a variance to any zoning code, must be approved by the Planning Director prior to implementation.
5. If any human remains are found during grading or construction, all work will be stopped and police called to investigate.
6. These conditions of approval are required to be printed on all the construction plans that would be submitted to the Building Division as part of the building permit process.
7. The property owner/applicant shall maintain in good repair all building exteriors, landscaping, awnings, walls, fences, lighting, trash enclosures, drainage facilities, driveways and parking areas. The premises shall be kept clean. Any graffiti painted on the property shall be painted out or removed within seven days of occurrence. Prior to final inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the Planning Director.

8. Prior to final inspection, the City of Hayward Supplemental Building Construction & Improvement Tax, the City of Hayward Building Construction & Improvement Tax, and the Hayward Unified School District Fees shall be paid.
9. Park Dedication In-Lieu Fees are required for 1 new dwelling unit, to be paid prior to approval of occupancy. Fees will be those in effect at the time of issuance of the building permit.
10. Prior to issuance of a building permit, a drainage plan shall be submitted and approved by the Planning Director.
11. Violation of these conditions is cause for revocation of the site plan review approval after public hearing before the duly authorized review body.

Planning

12. The south elevations shall be articulated and recessed window like design feature shall be added.
13. Prior to issuance of a building permit, a color and materials board shall be submitted for review and approval by the Planning Director.
14. All parking stalls shall meet minimum standards of the Off-Street Parking Regulations.
15. Roof-mounted mechanical equipment shall be prohibited unless fully screened from view by the roof structure. If there are to be any roof-mounted HVAC units, no polluted waters from these units shall be discharged to the storm drain via roof drains. Uncontaminated condensate is acceptable for storm drain discharge.
16. The Planning Director shall approve the design and location of exterior lighting fixtures, which shall reflect the architectural style of the building. Exterior lighting shall be shielded and deflected away from neighboring residential and commercial properties.
17. The developer shall provide the Planning Director with the name and telephone number of the developer or the developer's representative who may be contacted during the construction phase regarding neighborhood complaints or concerns.
18. Utility meters shall be screened to the satisfaction of the Planning Director.
19. The dwelling unit shall have and maintain a minimum of 90 cubic feet of dedicated storage area, above standard closets and bedroom wardrobes, accessible from the exterior of the unit.
20. An exterior hose bib shall be provided in the backyard.
21. The pavement at the driveway entries shall be enhanced by the use of decorative pavement materials such as colored, stamped concrete (bromanite or equal), concrete interlock pavers or other approved materials. The location, design and materials shall be approved.
22. Downspouts and other similar appurtenances shall be enclosed within the structure.

23. No outside storage of materials, crates boxes, etc. shall be permitted anywhere on site, except with the trash enclosure as permitted by Fire Code. No items shall be stored within 5 horizontal feet of the railing of any balcony, and such items shall not be stacked any higher than the height of the railing.
24. The balconies and terrace are not permitted to be used as storage areas.
25. All signs shall comply with the Sign Ordinance regulations the Neighborhood Commercial District.
26. All television or satellite reception antennas and dishes shall be completely screened from view by the proposed structure.
27. No public telephone may be installed outside the building.
28. A decorative pre-cast concrete trash receptacle, with a self-closing metal lid, shall be located near each of the exterior customer doors. The Planning Director shall approve the design and placement.
29. No vending machines or other goods or products shall be displayed or sold outside the building, excluding newspaper racks.
30. The sides of the building shall provide adequate sound proofing so animal sounds cannot be heard through the walls.

Landscaping

31. Prior to the issuance of a building permit, a detailed landscape and irrigation plan, prepared by a licensed landscape architect, shall be submitted to the City Landscape Architect for approval. The landscape plan shall include a tree inventory for the site. Each tree is required to be outlined and the trunk size shall be indicated on the plans. Indicate if the tree is to be removed or shall remain.
32. An arborist shall examine and determine if the eucalyptus tree on the south property line is healthy and shall be retained. If it is determined that the tree is healthy, the landscape plans shall include a retaining wall(s) in the backyard area to assure the safety of the tree.
33. A Certificate of Substantial Completion and irrigation schedule shall be submitted by the project landscape architect prior to approval of occupancy unless otherwise required to be deferred by the City.
34. Prior to issuance of a grading or building permit, all trees 10" or larger in diameter that are proposed for removal shall be documented and a tree removal permit shall be obtained from the City. Replacement trees shall be required by the City Landscape Architect based on the value of the trees authorized for removal. The value of the trees shall be calculated by a certified arborist according to the "Trunk Formula Method" contained in the Guide for Plant Appraisal (1992) published by the International Society of Arboriculture.

35. Prior to issuance of a grading permit or building permit, a tree preservation bond, surety or deposit shall be established equal to the value of the trees to be preserved. The bond, surety or deposit will be returned at the time of tract acceptance if the trees are found to be in a healthy, thriving and undamaged condition. The City reserves the right to require an arborist report, at the expense of the developer, to evaluate the condition of the trees.
36. Grading and improvement plans shall include measures for tree protection and preservation as required by the City's Landscape Architect including the installation of a fence at the dripline of the trees during the construction period.
37. The planting and maintenance of shrubs must not impair visibility at street intersections. The height of plant materials in areas where sight distance is critical is limited to three feet. Trees in these areas must be pruned such that the canopy provides adequate visibility.
38. All 2:1 sloped areas, or steeper, shall be prepared with jute netting or other approved soil erosion preventative prior to planting of landscape material.
39. A small vine and shrub pocket with bubbler irrigation heads shall be located at the garage and lobby entries.
40. On-site sidewalks and flat concrete surfaces shall exhibit a decorative finish, such as stamped concrete or exposed aggregate with tile bands. The material shall be approved by the City before issuance of a building permit.
41. Landscaping shall be maintained in a healthy, weed-free condition at all times with replacement plants provided where necessary. Required street and parking lot trees that are severely topped or pruned shall be immediately replaced as determined by the City Landscape Architect.
42. A complete automatic sprinkler system with an automatic on/off mechanism shall be installed and maintained within all landscaped areas. Provide an individual adjustable-flow bubbler to each tree.
43. 43.Landscaping and irrigation plans shall comply with the City's Landscape Water Conservation Design Guidelines.

Fire Department

44. The Fire Department requires additional information regarding any use and storage of hazardous materials within the building and on the site. The applicant shall submit a Hazardous Materials Inventory Worksheet, which identifies the type and quantities of hazardous materials being used and/or stored within the building.
45. The Fire Department needs confirmation that the "M" occupancy, retail use shall not occur.
46. Additional requirements may be imposed pending review of the requested materials to be submitted.
47. The building is required to meet the following fire protection requirements to the satisfaction of the Fire Department:

- a. Automatic fire sprinkler system designed and installed per N.F.P.A. 13 Standards.
- b. Dedicated underground fire service line designed and installed per N.F.P.A. 24 Standards.
- c. A Class I standpipe system is required for the building and shall be designed and installed per N.F.P.A. 14 Standards. This standpipe system requirement may be subject to change, pending further review of the architectural drawings during building permit review.
- d. Central station monitoring for the fire sprinkler system shall be installed.
- e. Elevator recall shall be installed per N.F.P.A. 72 Standards.
- f. Appropriate type fire extinguishers are required on all floors of the building.
- g. Fire Department lock boxes shall be installed on the building.
- h. A minimum 6-inch address is required on the building and shall be visible from the street.

48. This site may require a Phase I site assessment for any possible land contamination. The applicant shall contact Hugh Murphy, Hazardous Materials Coordinator, at (510)-583-4924.

Police Department

- 49. Lighting in the parking areas and exterior walkways shall conform to the Security Ordinance and be controlled by photocells. The lighting plan shall be approved by the Planning Director.
- 50. The project shall comply with the provisions of the Security Ordinance that pertain to address numbers, and all newly installed doors, windows and locks.
- 51. Management shall take necessary steps to assure the orderly conduct of employees, patrons and visitors on the premises.

Solid Waste & Recycling

- 52. The applicant shall submit for review by Solid Waste Program staff a Construction and Demolition Debris Recycling Statement. The Debris Recycling Statement shall be submitted along with the building permit application. A separate Debris Recycling Statement must be submitted for each phase of the entire demolition and construction process. Each Statement must show diversion of 100% of the asphalt/concrete and 50% of the remainder of the material generated during demolition and/or construction. A Debris Recycling Summary Report is required at the conclusion of the project.
- 53. The applicant shall clearly indicate on the site plan the proposed location and dimensions of each trash/recycling area, including the enclosure detail. The space provided for the storage of recyclables must be the same size or larger as that provided for trash.
- 54. A 6-inch wide parking bumper, at least 3 feet long, must also be placed between the dumpster and the recycling bins, in order to secure the refuse dumpster in its designated area. Concrete or recycled-content plastic bumpers are available. Purchase of recycled plastic bumpers is not required.

55. A minimum space of 12 inches must be maintained between the garbage and recycling containers and the walls of the enclosure to allow for maneuvering the containers.
56. The trash and recycling enclosure shall be covered and designed to match the building. The enclosure gates and hinges must be flush with the enclosure wall. The gates must hinge from the right and left corners of the enclosure and open straight out, in order to allow the dumpsters to be pulled straight out from the enclosure and returned to their original location.
57. The enclosure must be constructed on a flat area with no more than a 2% grade, in order to ensure that the garbage driver can adequately retrieve and return the dumpster(s) from the enclosure.

Engineering

58. Provide a detailed grading and drainage plan to be approved by the City Engineer and/or the Planning Director. Show the proposed location of the sanitary sewer lateral, water services and on- and off-site drainage. The minimum separation between sanitary sewer lateral and water services shall be 6 feet.
59. Decorative pavement (bomanite, concrete interlocking pavers or other approved materials) shall be installed within pedestrian walkways that cross the private street(s).
60. CalTrans permit is required prior to any work along Caltrans right-of-way.
61. Install fire hydrants at the property frontages at Foothill Boulevard and Rockford Road.
62. The plan must identify Best Management Practices (BMPs) appropriate to the uses conducted onsite in order to limit the entry of pollutants into the storm water runoff to the maximum extent practicable.
63. Grading and construction activities shall be limited to the hours of 7:30 a.m. to 5:00 p.m. on weekdays. There shall be no grading or construction activities on weekends or national holidays, unless otherwise approved by the City Engineer.
64. Construction equipment shall be properly muffled, and unnecessary idling shall be prohibited.
65. Stationary noise-generating construction equipment, such as compressors, shall be located as far as practical from occupied residential housing units and the adjacent motel.
66. Prior to issuance of a building permit:
 - a. The owner shall dedicate the necessary right-of-way for the extension of Rockford Street including a cul-de-sac at the terminus per City Standard Detail SD-103.
 - b. Revise site plan to show the extension of Rockford Street to the northerly property line. An area to accommodate a fire truck turnaround should be included. The design shall be approved by the City Engineer.
 - c. The improvements will be installed at the time a building permit is issued for any construction on the property.

d. Dedicate to the City the street right-of-way necessary to build the cul-de-sac.

67. All parking stalls and maneuvering areas shall meet the minimum standards of the City Parking Ordinance. Each parking space shall be provided with a Class "B" Portland Cement concrete bumper block. The parking stalls shall be striped and any compact stalls shall be clearly marked for compact vehicles only. Compact spaces shall not number more than 40% of the total spaces provided.
68. Vehicular circulation areas shall be signed as fire lanes and posted for "No Parking".
69. The existing driveway to be abandoned shall be removed and replaced with standard curb, gutter and sidewalk. All unused driveways across the property frontages shall be removed and replaced with curb, gutter and sidewalk.
70. Driveways, which serve the proposed use, shall be constructed to City Standard SD-110.
71. The pavement at the driveway entries shall be enhanced by the use of decorative pavement materials such as colored, stamped concrete (bomanite or equal), brick, concrete interlocking pavers or other approved materials. The location, design and materials shall be approved by the Planning Director.



SUPER 8 MOTEL

To.
City of Hayward
Arlynne J. Camire AICP Associate Planner
Planning Division
777 B Street
Hayward, Ca. 94541

Page 1

December 12th 2002

Hand Delivered

Dear Arlynne J. Camire

Pursuant to the decision by the planning director on application of Sanjiv Bhandari (applicant) and Sandeep Salwan (owner) AUPPL-2002-0258.

I the property owner of the Super 8 Motel located at 21800 Foothill Blvd object to having the following condition approved by the staff:

- 1) I am objecting to having the property set back to be 10 foot from the property line. The current plan indicates to the set back to be at 10 foot all the homes and the new construction we built, are at the set back of 20 foot and there for the planning department should make the same consideration for the applicant.
- 2) The property height currently approved at 51 foot should be revised to lesser height approximately to be no more then 34 feet. The massive structure would adversely affect the neighborhood.
- 3) Furthermore I object to having a vet hospital or a clinic next to my property since this will adversely effect the nuisance that will be produced by the pets furthermore we already have number of vet clinic in the vicinity, some other use would be appropriate then a vet clinic, or vet hospital within neighborhoods.

I have addressed these concern when the application was made first, I hope that the planning directors shall look at this project closely and make its own decision weather or not a vet clinic of this magnitude is appropriate or not since it provide a living arrangement to keep the vets. ?


ATTACHMENT D

Page 2

I would strongly appose to having the vat hospital or the vet clinic next to my property, please have this matter be brought to the planning commission, I will attend the meeting if be scheduled after March 30th 2003 since I will be out of town till then. Should you plan on having the planning commission, meeting before that my son Sunil Khatri shall represent me in the meeting.

If you have any question please do not hesitate to call me at 510-733-5012.

Very Truly Yours


Rajesh K. Khatri
Owner

AMERICAN ANIMAL HOSPITAL

21888 FOOTHILL BOULEVARD, HAYWARD, CALIFORNIA

SIGNAGE STUDY

05 MARCH 2003



OWNER

DR. SANDEEP SALWAN

22505 SECOND STREET,

HAYWARD, CA 94541

ARCHITECTS

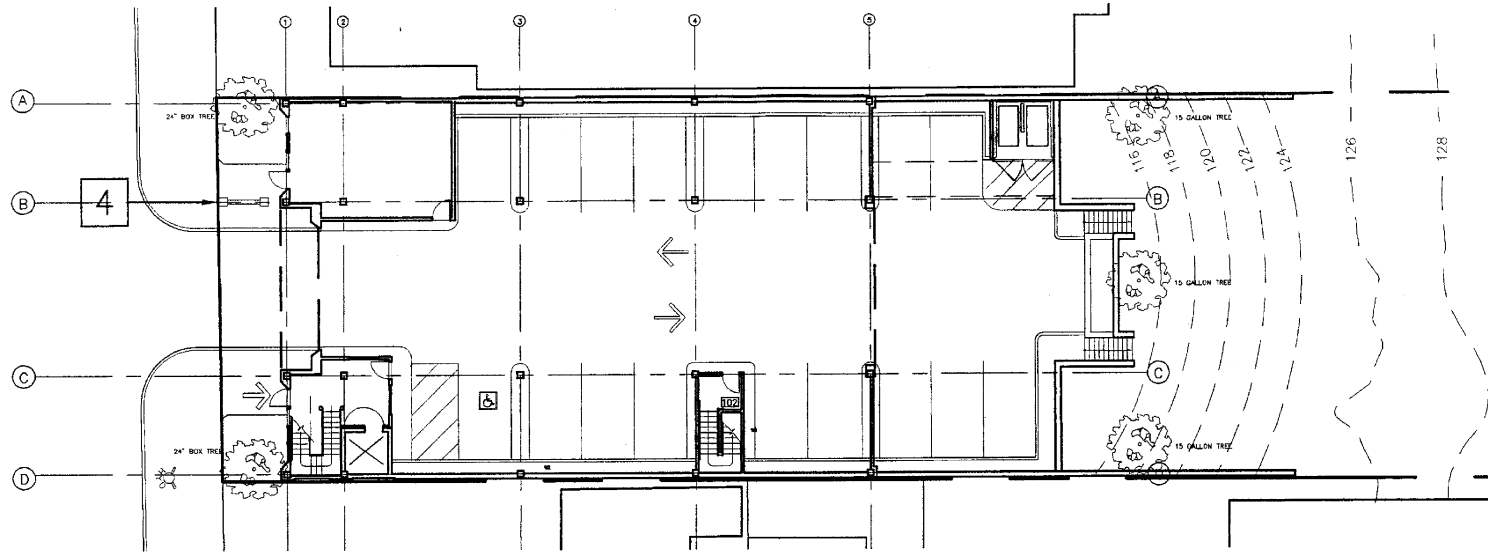
BKBC ARCHITECTS INC.

855 SANSOME STREET, SUITE 305, SAN FRANCISCO, CA 94111

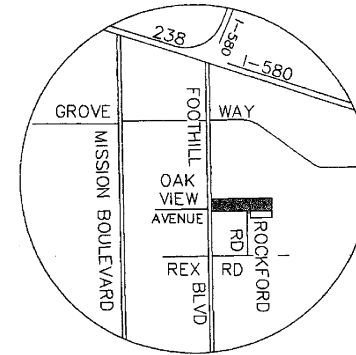
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SITE PLAN



LOCATION PLAN



DATE:
MARCH 5, 2003

SCALE:
1"=20'

DRAWING NO:

1

PROJECT	AMERICAN ANIMAL HOSPITAL	ARCHITECTS	BKBC ARCHITECTS INC.
	21888 FOOTHILL BOULEVARD, HAYWARD, CA	OWNER	DR. SANDEEP SALWAN
			855 SANSONE STREET, SUITE 305 SAN FRANCISCO, CA 94111 TEL. 415.772.8200 FAX 415.772.8201

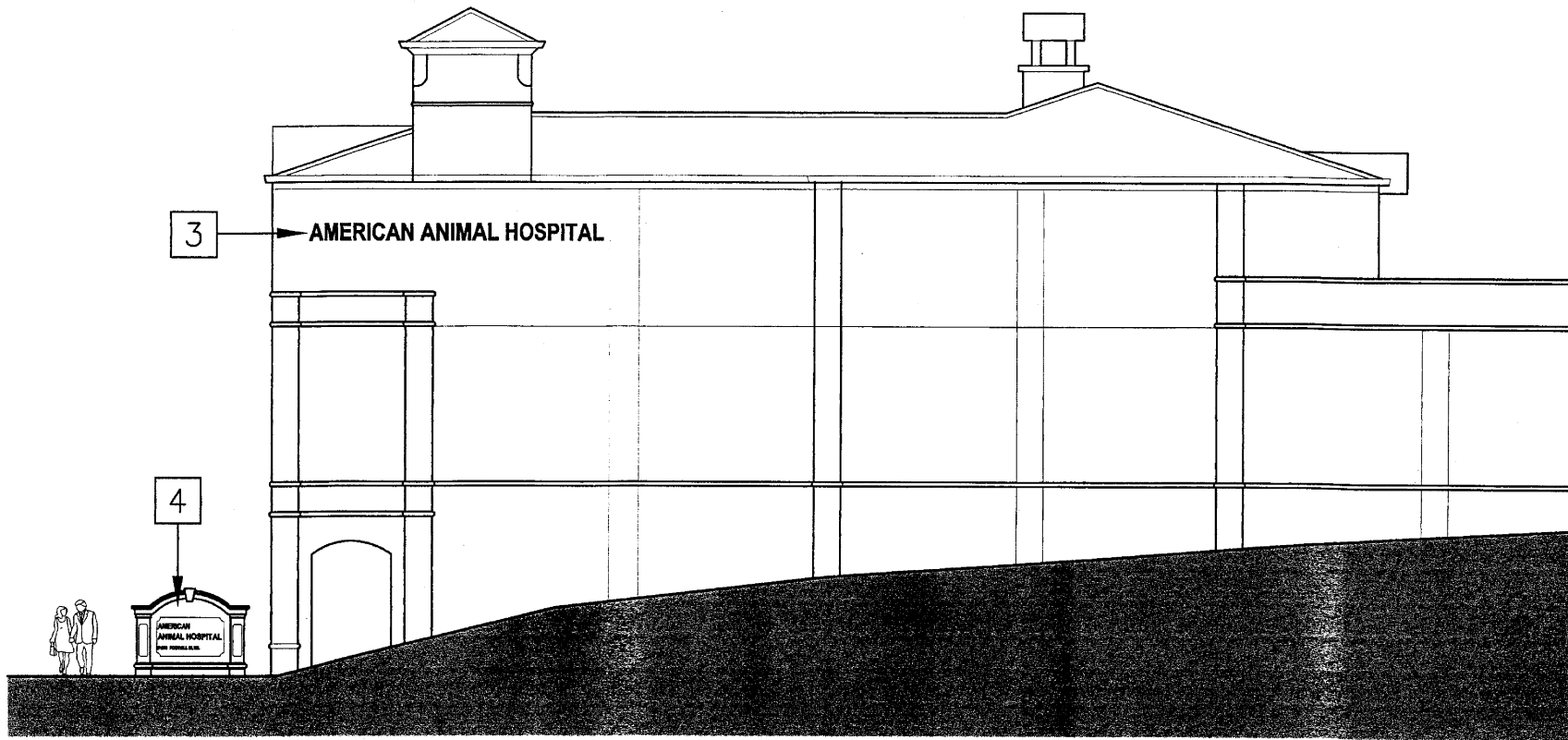
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FRONT ELEVATION (FOOTHILL BLVD.)

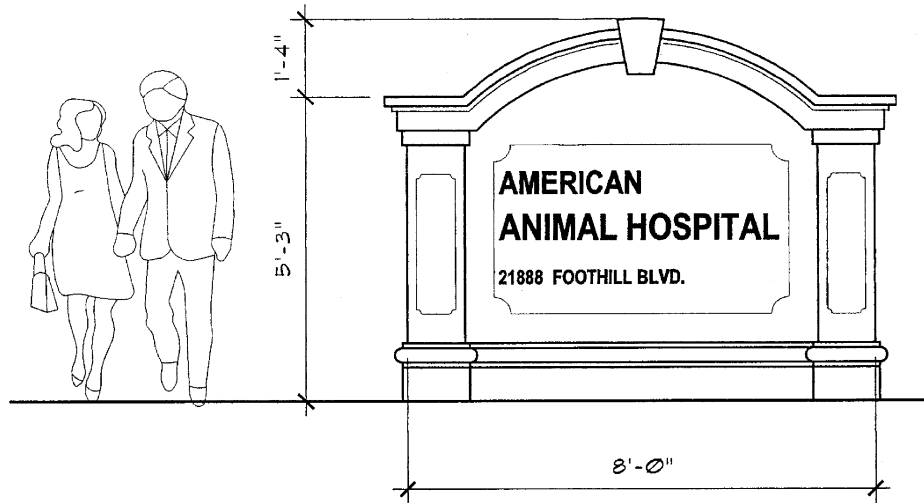
PROJECT AMERICAN ANIMAL HOSPITAL 21888 FOOTHILL BOULEVARD, HAYWARD, CA		OWNER DR. SANDEEP SALWAN 696 E. LEWELLING BLVD., HAYWARD CA T. 510.276.5480	ARCHITECTS BKBC ARCHITECTS INC. 855 SANSOME STREET, SUITE 303 SAN FRANCISCO, CA 94111 TEL. 415.772.8200 FAX 415.772.8201
DATE: MARCH 5, 2003		SCALE: 1"=8'	
DRAWING NO: 2			

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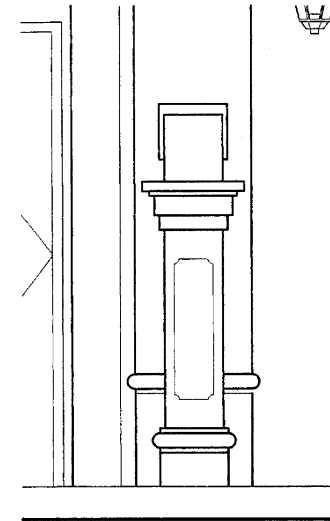


SIDE ELEVATION

<p>DATE: MARCH 5, 2003</p>		<p>ARCHITECTS BKBC ARCHITECTS INC. 855 SANSONE STREET, SUITE 305 SAN FRANCISCO, CA 94111 TEL. 415.772.8200 FAX 415.772.8201</p>
<p>SCALE: 1"=8'</p>		<p>OWNER DR. SANDEEP SALWAN 694 E. LEVELLING BLVD., HAYWARD CA T. 510.274.5480</p>
<p>DRAWING NO: 3</p>		<p>PROJECT AMERICAN ANIMAL HOSPITAL 21888 FOOTHILL BOULEVARD, HAYWARD, CA</p>



**SIGN TYPE 4
FRONT ELEVATION**



**SIGN TYPE 4
SIDE ELEVATION**

<p>SIGN TYPE 1 SELF ILLUMINATED INDIVIDUAL BOX LETTERS WITH TRANSLUCENT FRONT IN RED COLOR AND OPAQUE SIDES PAINTED BLACK- 12 INCHES HIGH LETTERS</p> <p>AMERICAN ANIMAL HOSPITAL</p>	<p>SIGN TYPE 2 BLACK METAL LETTERS- ONE LOCATION ONLY. MAXIMUM 8 INCHES HIGH LETTERS</p> <p>21888</p>	<p>SIGN TYPE 3 SELF ILLUMINATED INDIVIDUAL BOX LETTERS WITH TRANSLUCENT FRONT IN RED COLOR AND OPAQUE SIDES PAINTED BLACK- 18 INCHES HIGH LETTERS</p> <p>AMERICAN ANIMAL HOSPITAL</p>	<p>SIGN TYPE 4 ROADSIDE PYLON SIGN- DESIGN, COLOR AND MATERIAL TO MATCH BUILDING EXTERIOR APPROXIMATELY 8 FEET WIDE BY 5.5 FEET HIGH INTERNALLY ILLUMINATED BOXED SIGN HOUSED WITHIN THE PYLON SIGN . 6 INCHES HIGH LETTERS</p> <p>AMERICAN ANIMAL HOSPITAL 21888 FOOTHILL BOULEVARD</p>
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SIGNAGE TYPE LEGEND

ARCHITECTS	BKBC ARCHITECTS INC. 855 SANSOME STREET, SUITE 305 SAN FRANCISCO, CA 94111 TEL. 415.772.8200 FAX 415.772.8201
OWNER	DR. SANDEEP SAIWAN 696 E. LEWELLING BLVD., HAYWARD CA T. 510.276.5480
PROJECT	AMERICAN ANIMAL HOSPITAL 21888 FOOTHILL BOULEVARD, HAYWARD, CA
DATE	MARCH 5, 2003
SCALE	1"=2'
DRAWING NO.	4

Veterinary Center



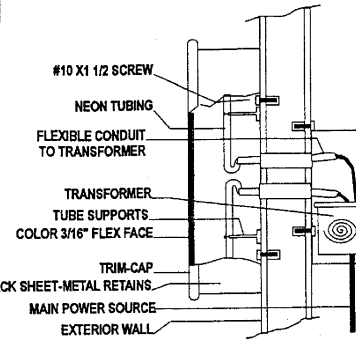
5



6

TYPE OF INSTALLATIONS

001

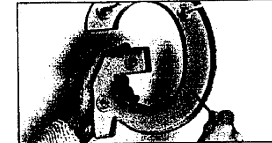


CHANNEL LETTER /
DOUBLE BACK NEON DETAIL

002

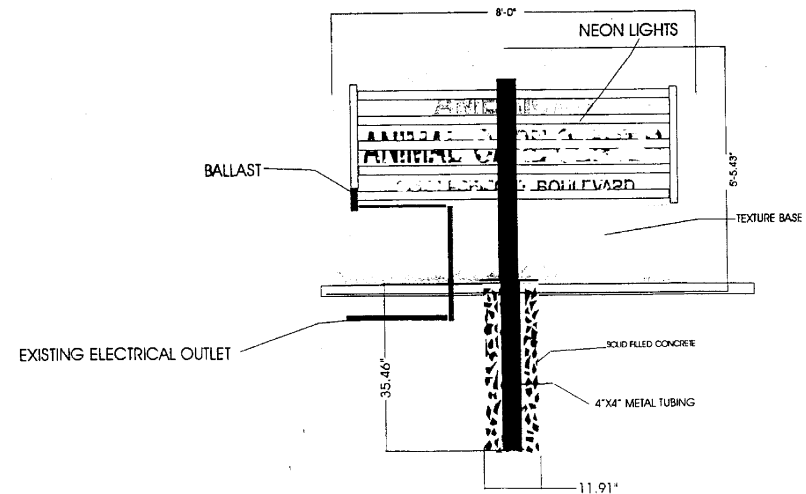


DRILL 1/4" DIAMETER HOLES IN TEMPLATE
Drill 1/4" diameter holes where indicated on template and into wall. Remove template from surface and clean out each drill hole with compressed air. Air vents on the drill or a turkey baster also work. Fill the holes with silicone and install the 2" long stud.



STUD INSTALLATION
FOR METAL OR PLASTIC LETTERS

003





1



2



3



4